

HISTORIC AND DESIGN REVIEW COMMISSION

October 20, 2021

HDRC CASE NO: 2021-504
ADDRESS: 125 MAGNOLIA DR
LEGAL DESCRIPTION: NCB 6530 BLK 2 LOT 7
ZONING: R-4,H
CITY COUNCIL DIST.: 1
DISTRICT: River Road Historic District
APPLICANT: Sheryle Leal/Precision Contracting
OWNER: Hannah Olguin
TYPE OF WORK: Exterior modifications, construction of a front porch
APPLICATION RECEIVED: September 24, 2021
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Stephanie Phillips
REQUEST:

The applicant is requesting a Certificate of Appropriateness to:

1. Modify the existing front door configuration to feature new wood screened slider doors flanked by full height screen doors. The current front door configuration features an enclosed front porch with a one over six screen door flanked by full height screen windows with a mullion and muntin pattern that echoes the proportion of the existing historic windows on the house.
2. Construct a new front porch. The porch will extend the full width of the façade and will project 6' towards the public right-of-way. A set of wooden stairs will be included on the front façade and on the side façade facing the driveway.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. *Screens and shutters*—Preserve historic window screens and shutters.
- v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.

- vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.
- viii. *Security bars*—Install security bars only on the interior of windows and doors.
- ix. *Screens*—Utilize wood screen window frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.
- x. *Shutters*—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

7. Architectural Features: Porches, Balconies, and Porte-Cocheres

A. MAINTENANCE (PRESERVATION)

- i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- iii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

8. Architectural Features: Foundations

A. MAINTENANCE (PRESERVATION)

- i. *Details*—Preserve the height, proportion, exposure, form, and details of a foundation such as decorative vents, grilles, and lattice work.
- ii. *Ventilation*—Ensure foundations are vented to control moisture underneath the dwelling, preventing deterioration.
- iii. *Drainage*—Ensure downspouts are directed away and soil is sloped away from the foundation to avoid moisture collection near the foundation.
- iv. *Repair*—Inspect foundations regularly for sufficient drainage and ventilation, keeping it clear of vegetation. Also inspect for deteriorated materials such as limestone and repair accordingly. Refer to maintenance and alteration of applicable materials, for additional guidelines.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Replacement features*—Ensure that features such as decorative vents and grilles and lattice panels are replaced in-kind when deteriorated beyond repair. When in-kind replacement is not possible, use features matching in size, material, and design. Replacement skirting should consist of durable, proven materials, and should either match the existing siding or be applied to have minimal visual impact.
- ii. *Alternative materials*—Cedar piers may be replaced with concrete piers if they are deteriorated beyond repair.
- iii. *Shoring*—Provide proper support of the structure while the foundation is rebuilt or repaired.
- iv. *New utilities*—Avoid placing new utility and mechanical connections through the foundation along the primary façade or where visible from the public right-of-way.

FINDINGS:

- a. The primary structure located at 125 Magnolia Dr is a 1-story residential structure constructed circa 1923 in the Craftsman style. The house features woodlap siding, one over one windows, a prominent side brick chimney, and an enclosed front porch with a screen window and door system. The structure is contributing to the River Road Historic District.
- b. DESIGN REVIEW COMMITTEE – The applicant met with the Design Review Committee (DRC) on August 25, 2021. The meeting was held as a site visit at 125 Magnolia Dr. The DRC suggested exploring a porch that did not extend the full width of the house, and instead featured an asymmetrical configuration that extended from the location of the current enclosed, original front porch. There was discussion about reducing the depth of the proposed new porch from the originally proposed 9 feet to 6 feet or less and how a setback diagram was necessary to fully evaluate how a new front porch would relate to the established setbacks on the street.
- c. FRONT ENTRYWAY CONFIGURATION MODIFICATIONS – The applicant has proposed to modify the existing front door and entryway configuration. The current configuration features a one over six screen door centered between two full-height window screens with a mullion and muntin pattern that echoes the proportion of the existing historic windows on the house. The door and window screens fill the opening of the original front porch as evidenced on the 1911-1951 Sanborn Map. Based on the submitted elevations, the applicant has proposed to replace this configuration with new wood screened slider doors flanked by full height screen doors and infill the remaining wall with siding. Per the Historic Design Guidelines, alterations to porches should result in a space that functions, and is visually interpreted as, a porch. Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows or screens are necessary. Staff finds that the existing porch configuration visually reads as an enclosed front porch featuring screen and door designs that are specific to the proportions found on the historic home, which helps clearly tell the story of the evolution of the home over time. Staff finds that the existing screened porch configuration should be retained. Replacing the existing door and screens with a new door and screens clad with a similar mullion and muntin pattern is eligible for administrative approval.
- d. NEW FRONT PORCH – The applicant has proposed to install a front porch with a low-sloping shed roof with rafter tails. The porch will measure approximately 25 feet in length, just shy of the width of the front façade, and will extend 6 feet in depth towards the street. Per the setback diagram submitted by the applicant of the property, a 13' setback will remain from the sidewalk. According to Guideline 7.A.i, new porches should not be added where historically present and new front porch elements should be simple as to not distract from the historic character of the building. Details should not convey a false sense of historic appearance. Per Sanborn Maps, there is evidence that a recessed porch existed historically on this property and was enclosed over time as noted in finding e. The current proposal requests to add a second porch where one did not historically exist. Additionally, based on the information provided, the front porch may have a setback that is closer to the street than existing porches on surrounding properties. A street setback diagram has not been provided by the applicant that illustrates the new porch setback in relationship with neighboring properties. Staff does not find the proposal consistent with the Guidelines.

RECOMMENDATION:

Item 1, Staff does not recommend approval of the front entryway modifications as proposed based on finding c. Staff finds that this existing configuration should be retained. Replacing the existing door and screens with a new door and screens clad with a similar mullion and muntin pattern is eligible for administrative approval.

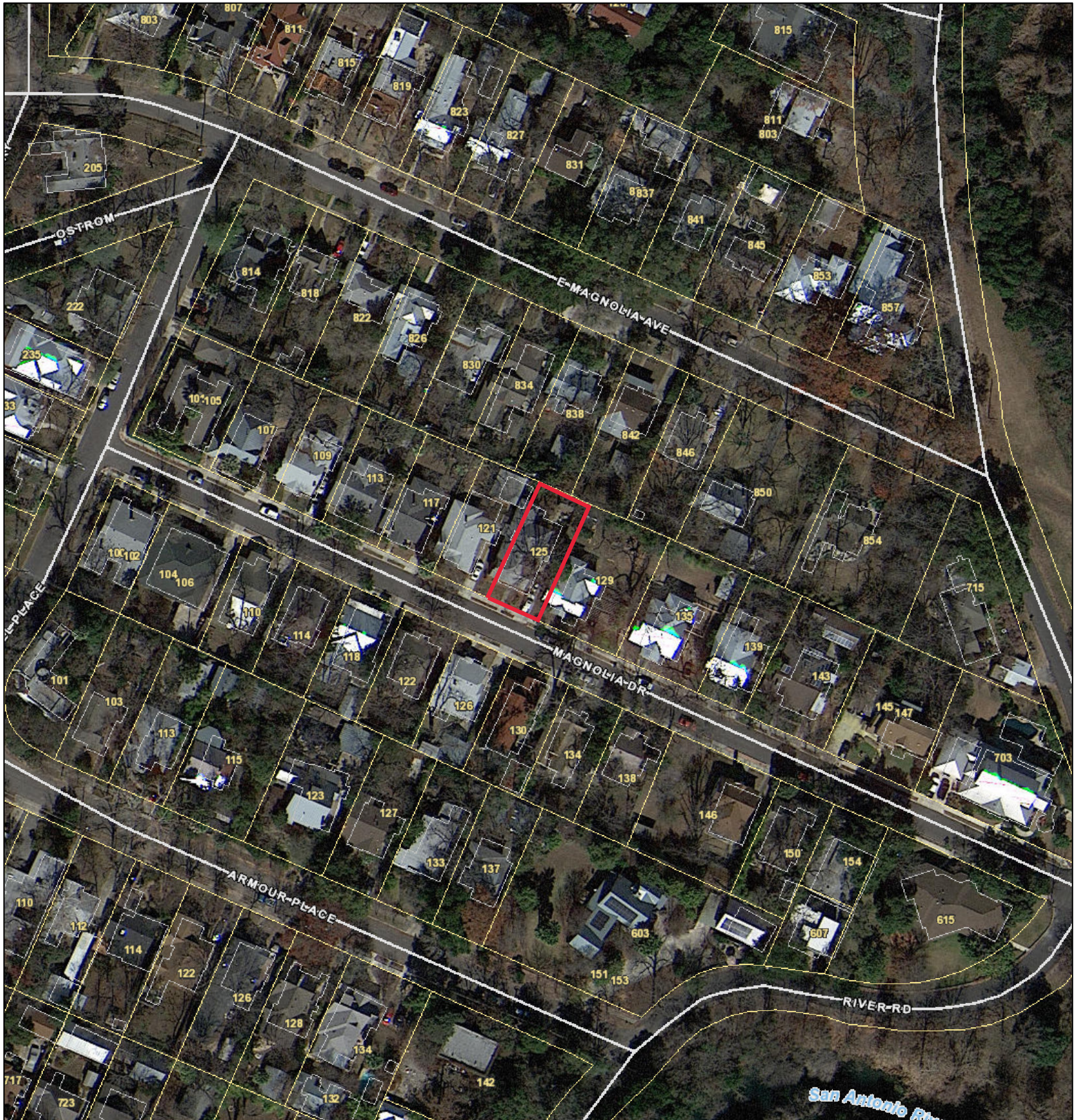
Item 2, Staff does not recommend approval of the construction of a new front porch based on finding d.

If the HDRC finds that a new front porch is consistent with the Guidelines and recommends approval, staff recommends that the following stipulations apply:

- i. That the porch elements comply with the following stipulations: RAILING - The proposed railings (on the steps) should feature both a top and bottom rail. The bottom rail should feature a vertical orientation and should be installed approximately three to four inches above the porch decking. Both top and bottom rails should be constructed from 2"x4" members. The proposed railing should not feature an overall height of more than three (3) feet. COLUMNS - The proposed wood columns should be no wider than 6' square, feature both capital and base trim and chamfered corners. DECKING – The proposed porch decking should feature 1" x 3" tongue-and-groove wood members laid perpendicular to the front façade plane.

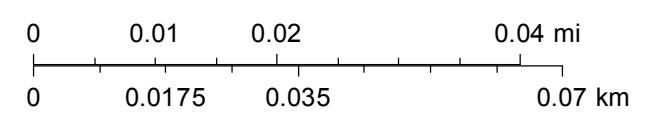
- ii. That the applicant submits a setback diagram study that includes the two immediate adjacent properties to illustrate the proposed front porch setback relative to the existing neighbors. The depth of the new front porch must not exceed the depth of the neighboring properties. If the proposed 6' depth creates a setback that is closer to the street than the immediate neighbors, the depth must be reduced and updated drawings must be submitted. This diagram is required to be submitted to staff for review and approval prior to the issuance of a Certificate of Appropriateness.

City of San Antonio One Stop



October 14, 2021

1:1,000



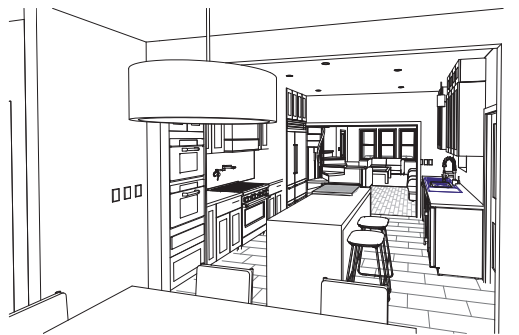
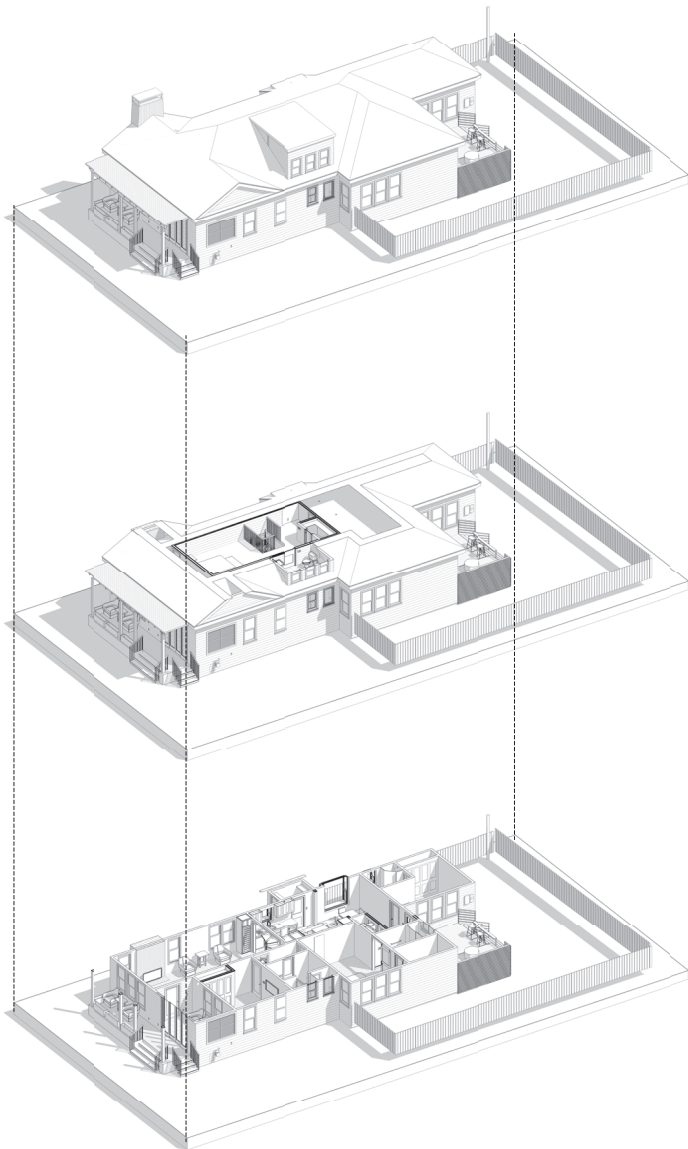


SAN ANTONIO TX 78212

SITE PLAN

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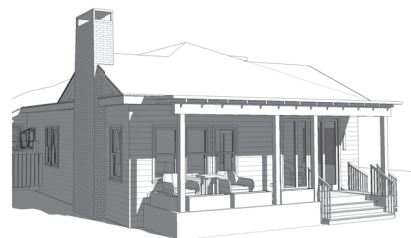
A-1.0



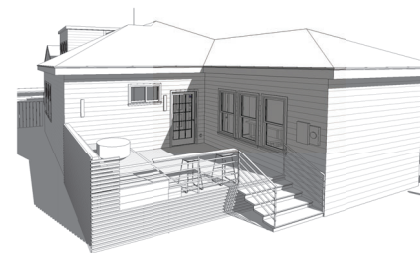
5 INTERIOR VIEW



4 INTERIOR VIEW



7 FRONT DECK



6 BACK DECK

125 MAGNOLIA DR.
SAN ANTONIO TX 78212

J | JASON MORAN
COLLABORATIVE DESIGNER

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ISSUE:

6.7.2021

VIEWS

PROJECT NO: 202007

DRAWN BY: JM

A-1.2

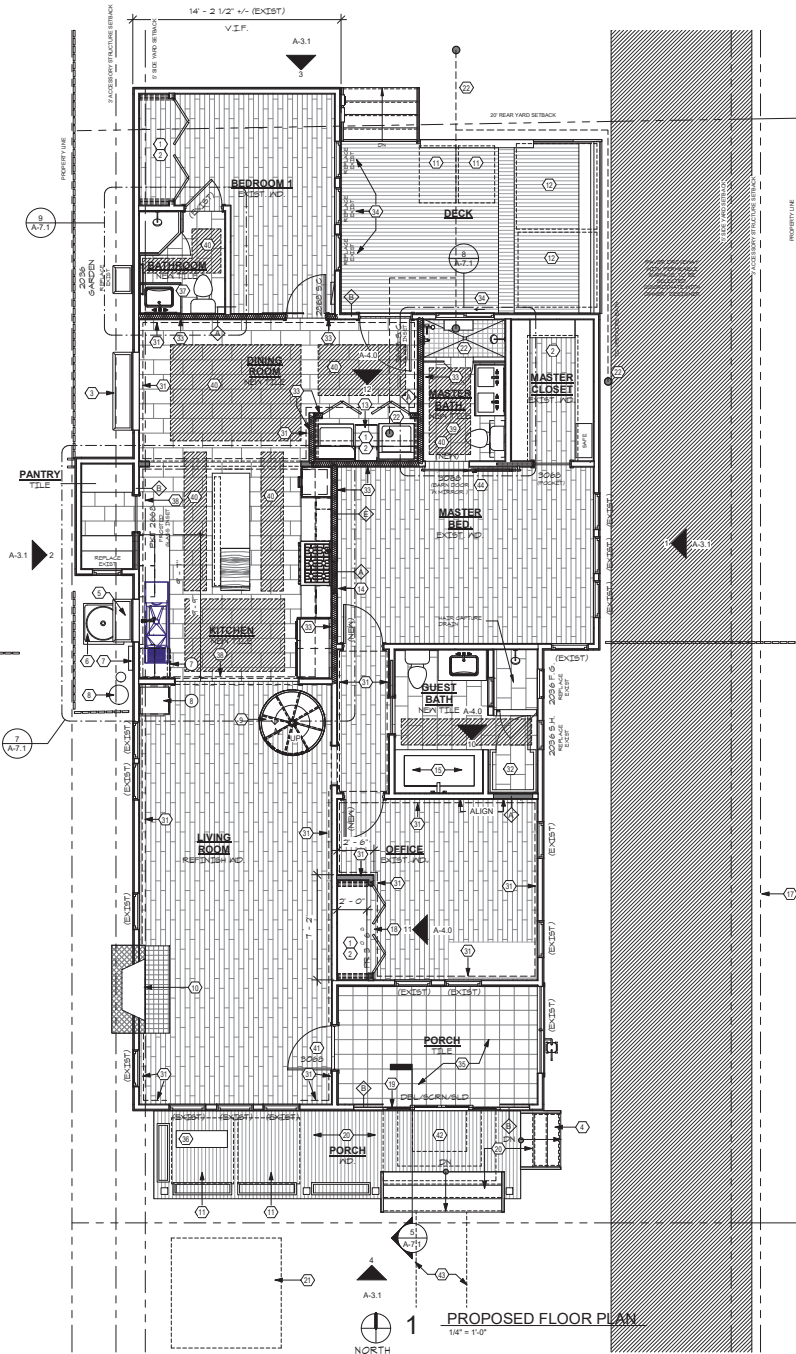
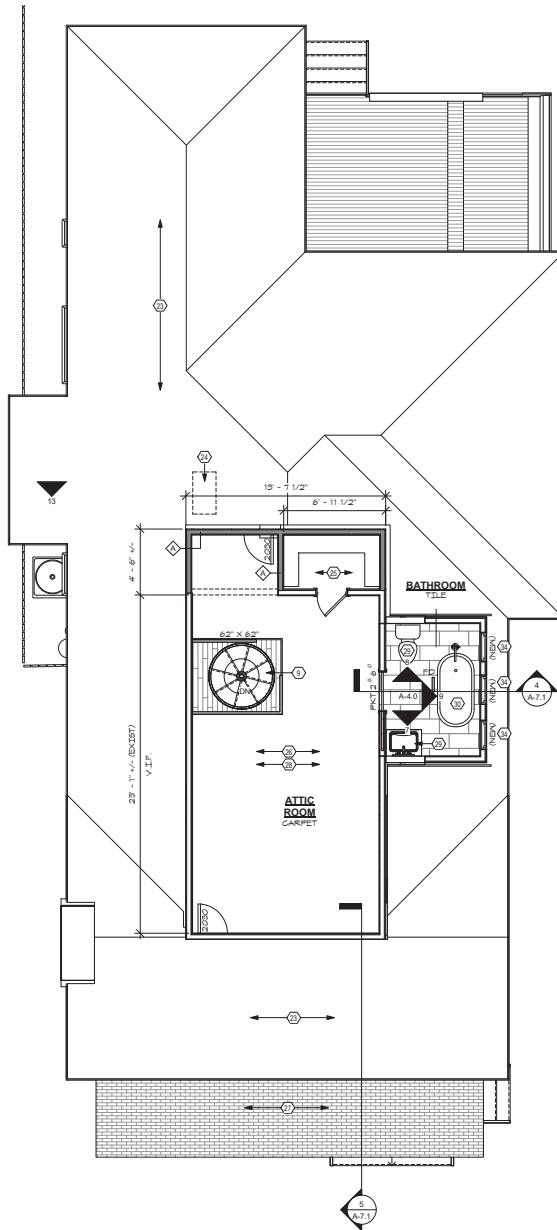
WALL

- EXISTING PARTITION TO BE
- EXISTING PARTITION TO
- NEW INTERIOR PARTITION: 2x4 STUDS KILN DRIED SOUTHERN YELLOW PINE 12 OR BETTER @ 16" O.C. WITH 5/8" TYPE GYP.
- NEW INTERIOR PARTITION: 2x6 STUDS @ 16" O.C. WITH 5/8" TYPE GYP. BD. EA. SIDE
- NEW EXTERIOR WALL CONSTRUCTION TO MATCH EXISTING ADJACENT FINISH MATERIAL. PROVIDE FOR 2x STUDS KILN DRIED SOUTHERN YELLOW PINE 12 OR BETTER @ 16" O.C. INTERIOR FINISH TO BE 5/8" TYPE "X" GYP. BD. FINISH & PAINT TO MATCH EXISTING PROVIDE FOR EXTERIOR SHEATHING AND VAPOR BARRIER AS REQUIRED.

FLOOR PLAN KEY NOTES:

- NOTE: PROVIDE SUBMITTAL TO OWNER FOR ALL ITEMS SPECIFIED PRIOR TO ORDERING FOR OWNER APPROVAL.
- NEW CLOSET WITH PIVOT POCKET HARDWARE CLOSET DOORS. HAFELE CONCEPTA SERIES HARDWARE. 8'-0" TALL MILLWORK DOORS
 - CLOSET ORGANIZATION MILLWORK. RE. INTERIOR ELEVATIONS
 - NEW PREFAB GARDEN KIDNOON AT DEMO. FIELD VERIFY EXACT SIZE.
 - SLIDING DRAWER IN NEW FRAMED STAIR.
 - UPDATE GARDEN KIDNOON ABOVE SINK.
 - NEW HVAC LOCATION
 - NEW HVAC
 - NEW WATER SPLIT. FILTER TO BE PROVIDED BY OWNER.
 - EXISTING SPIRAL STAIR TO BE REPLACED WITH NEW METAL SPIRAL STAIR. MODIFY EXISTING OPENING AS REQUIRED FOR NEW (ENLARGED) STAIR. COORDINATE EXACT DIMENSIONS IN FIELD W/ DESIGNER.
 - REFINISH EXISTING FIREPLACE/HEARTH
 - RADWATER CAPTURE BELOW DECK.
 - SLIDING DRAWER BELOW NEW FRAMED DECK
 - NEW CLOSET AND ORGANIZER FOR LAUNDRY. NEW PIVOT POCKET HARDWARE
 - DEMO EXISTING CLOSETS & FIREPLACE FOR ADD SPACE IN KITCHEN
 - NEW WHIRLPOOL BATH. REPLACE BEAD BD. WITH SUB.
 - REVERSE CLOSET TO OPEN TO BATH.
 - NEW RIBBON DRIVEWAY
 - NEW CLOSET PIVOT POCKET HARDWARE CLOSET DOORS.
 - NEW MILLWORK FOR OFFICE ORGANIZATION. ALL PIVOT POCKET DOORS TO BE 8'-0" TALL
 - NEW SCREEN SLIDING DOORS
 - NEW KD. FRAMED FRONT PORCH & STEPS. ALLOW FOR TPE WOOD
 - RADWATER OVERFLOW INTO NEW DRYWELL.
 - PLUMB IN GREY WATER. TERMINATION POINT TO BE COORDINATE W/ OWNER
 - EXISTING ROOF TO BE REPLACED WITH METAL ROOF.
 - APPROX. LOCATION OF HVAC UNITS
 - EXTEND ROOM TO ALLOW FOR CLOSET
 - RE-LEVEL & REFINISH EXISTING FLOOR. REINFORCE AS REQUIRED FOR PROPER STRUCTURE
 - NEW PORCH & ROOF STRUCTURE
 - EXISTING ATTIC ROOM TO REMAIN.
 - RELOCATED SINK FROM BEDROOM 1. NEW TUB/TOILET TO BE SELECTED
 - RELOCATE EXISTING CLAMPFOOT TUB FROM LEVEL 1
 - PICTURE RAIL. COORDINATE W/ OWNER ON STYLE & SELECTION
 - MILLWORK LINEN CLOSET.
 - PROVIDE FOR SOUND BATT INSULATION
 - NEW KIDNOONS SHALL HAVE ELECTRONIC CONTROL FROSTED FILM
 - AT EXISTING SCREEN PORCH. PATCH/ REPLACE EXISTING SCREEN/ WOOD TRIM AS REQUIRED FOR "LIKE NEW" APPEARANCE. PATCH AND REPLACE EXISTING TILE AS REQUIRED FOR LIKE NEW APPEARANCE.
 - NEW HANGING SKINS BENCH. COORDINATE W/ OWNER
 - NEW LOW (ADA) HEIGHT SINK & MILLWORK TO BE SELECTED BY OWNER
 - GROWN MOULDING. PROFILE TO BE SELECTED BY OWNER.
 - REPLACE EXISTING SINK AND CABINET WITH NEW ALLOW FOR 2 FAUCETS
 - NEW LIT MEDICINE CABINET/ MIRROR. PROVIDE POWER AS REQUIRED
 - PROVIDE FOR RADIANT FLOOR HEAT UNDER TILE AT HATCHED AREAS
 - NEW "CRAFTSMAN STYLE" FRONT DOOR. MODIFY TO ACCEPT MAIL SLOT RE-USED FROM PREVIOUS DOOR. TO BE SELECTED BY OWNER. MODIFY EXISTING JAMB FOR PROPER WORKING CONDITION.
 - DEMO EXISTING FRONT STEPS TO AL FOR NEW FRONT PORCH.
 - DEMO EXISTING WALKWAY TO ALLOW FOR NEW (DESIGN TO BE DETERMINED)
 - CONCEALED TRACK "BARN DOOR" WITH GLASS MIRROR. COORDINATE SPEC W/ OWNER

2 ATTIC FLOOR PLAN
1/4" = 1'-0"



1 PROPOSED FLOOR PLAN
1/4" = 1'-0"

125 MAGNOLIA DR.
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FLOOR PLAN

PROJECT NO: 202007
DRAWN BY: JM

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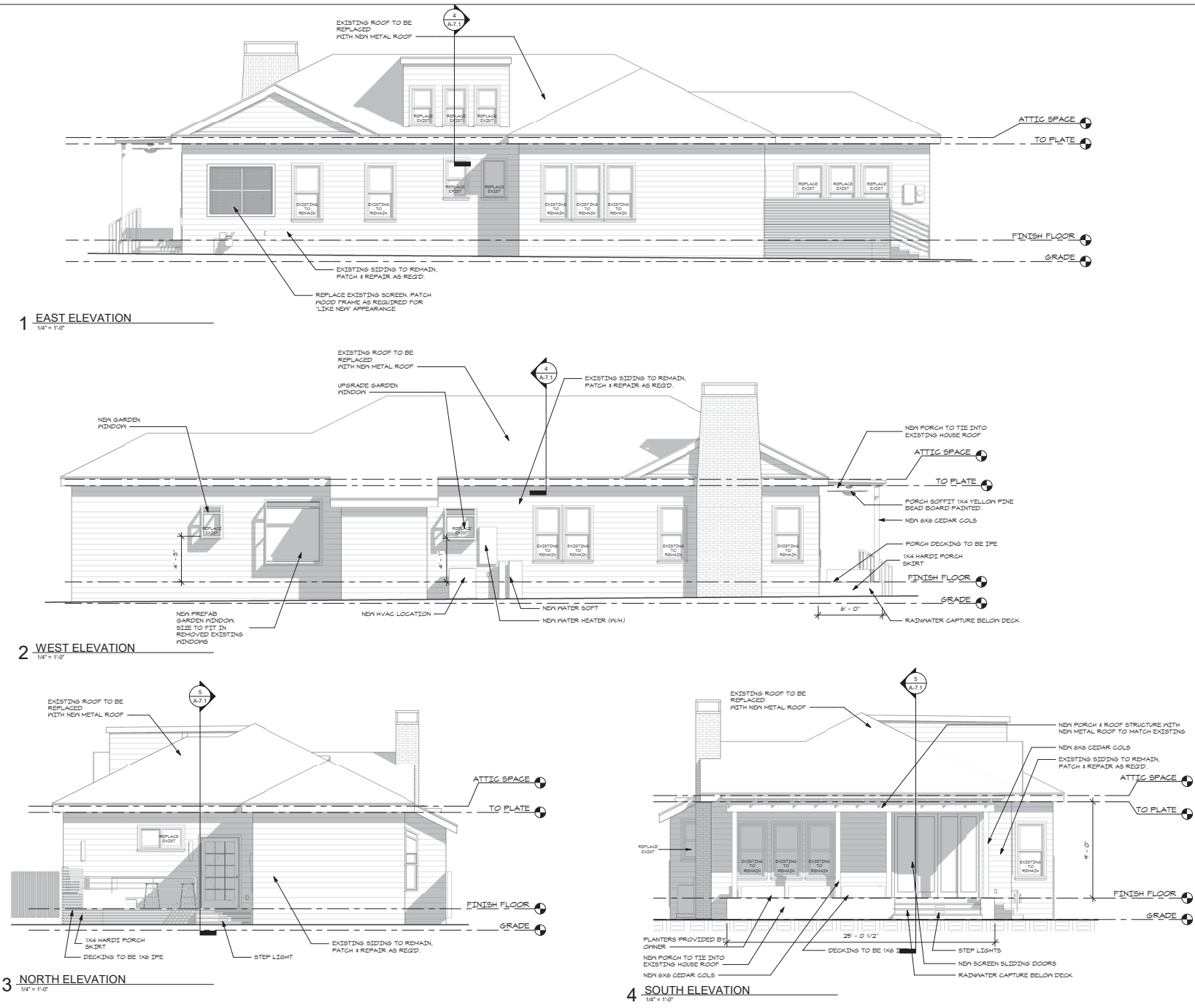
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ISSUE: 6.7.2021

ELEVATIONS

PROJECT NO: 202007
DRAWN BY: JM

A-3.1



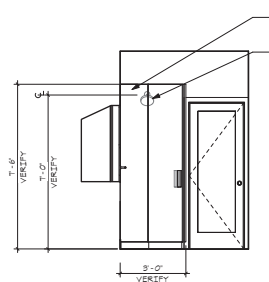
APPLIANCES LEGEND:

- ① 48" SUB-ZERO REFRIGERATOR/ FREEZER - PRO4850
- ② 36" BLUE STAR RANGE - PLATINUM SERIES
- ③ BLUE STAR VENTHOOD - LINEAR SERIES
- ④ MIELE STEAM OVEN - DGC 6765 XXL (PLUMBED PER SPEC)
- ⑤ DRY AGER - DRYAGER UX500
- ⑥ MIELE WINE REFRIGERATOR 24" KWT 6722
- ⑦ DISHWASHER BY MIELE - G 7966 SCVI
- ⑧ MIELE SPEED OVEN - H 6700 (PLUMBED PER SPEC)
- ⑨ KALAMAZOO HYBRID FIRE GRILL - K750HB
- ⑩ MIELE VACUUM SEAL - DGC 6765
- ⑪ MIELE WARMING DRAWER - 6380 FB
- ⑫ THE GALLEY SINK - WORKSTATION
- ⑬ GARBAGE DISPOSAL - TO BE SELECTED BY OWNER
- ⑭ WATER ZIP HYDRO TAP

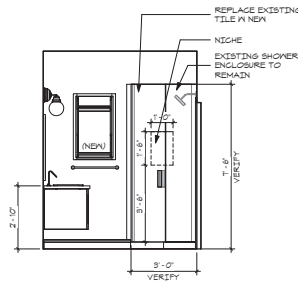
ELEVATIONS LEGEND

- ① LIGHT FIXTURE AS SCHEDULED
- ② TILE TO BE SELECTED
- ③ SOLID SURFACE TOP
- ④ REMOVABLE BUTCHER BLOCK IN STAINLESS STEEL INSERT
- ⑤ WATERFALL EDGE PROFILE
- ⑥ BASE AS SCHEDULED
- ⑦ DECORATIVE FINISH TO BE DETERMINED
- ⑧ PROVIDE WATER LINE / DRAIN TO APPLIANCE AS REQUIRED. RE: PRODUCT SPECIFICATIONS FOR REQUIREMENTS.
- ⑨ SOLID SURFACE TO BE DETERMINED
- ⑩ POT FILLER TO BE SELECTED
- ⑪ OUTLET MOUNTED IN MILLWORK

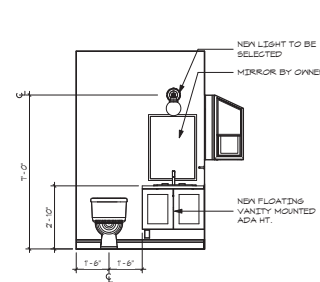
GENERAL NOTES:
1. REVIEW ALL APPLIANCES SELECTED WITH MILLWORK SELECTIONS FOR COORDINATION. PROVIDE SUBMITTALS & SHOP DRAWINGS TO OWNER AND DESIGNER FOR REVIEW PRIOR TO FABRICATION.
2. VERIFY ALL FIELD DIMENSIONS PRIOR TO SHOP DRAWINGS.



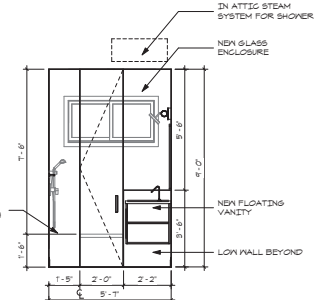
1 BATH RM
38' x 11'-0"



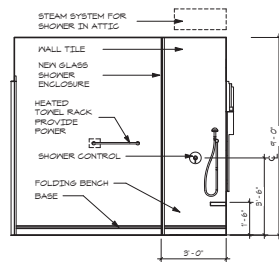
2 BATH RM
38' x 11'-0"



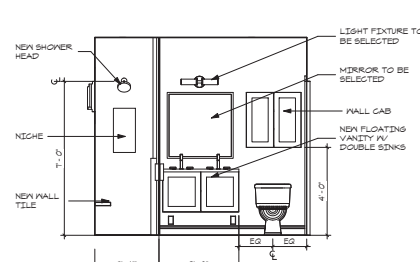
3 BATH RM
38' x 11'-0"



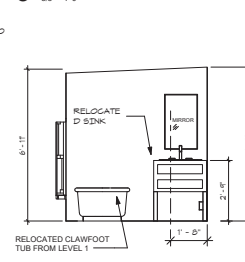
4 MASTER BATH
38' x 11'-0"



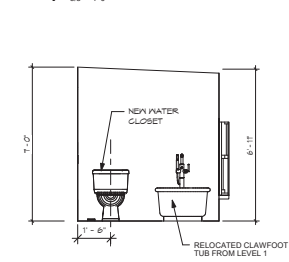
5 MASTER BATH
38' x 11'-0"



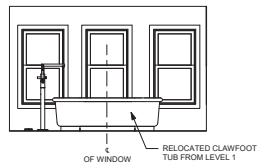
6 MASTER BATH
38' x 11'-0"



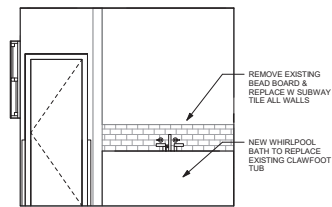
7 ATTIC BATHROOM
38' x 11'-0"



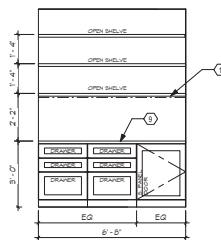
8 ATTIC BATHROOM
38' x 11'-0"



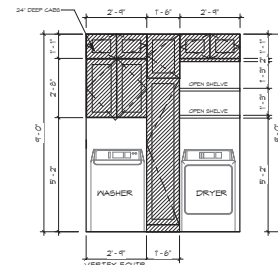
9 ATTIC BATHROOM
38' x 11'-0"



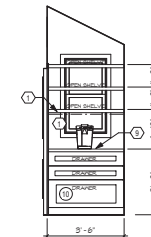
10 GUEST BATHROOM
38' x 11'-0"



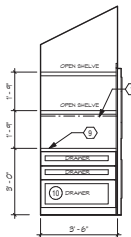
11 OFFICE CLOSET
38' x 11'-0"



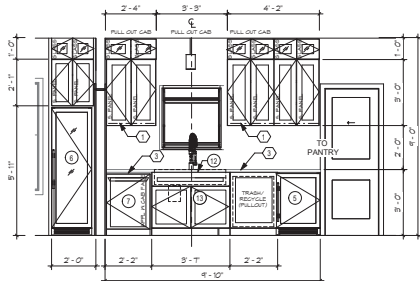
12 LAUNDRY
38' x 11'-0"



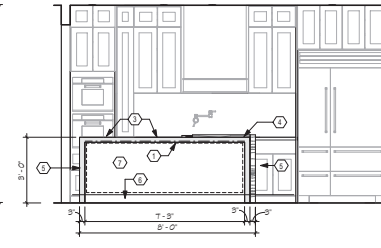
13 PANTRY
38' x 11'-0"



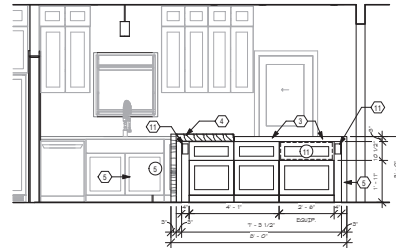
14 PANTRY
38' x 11'-0"



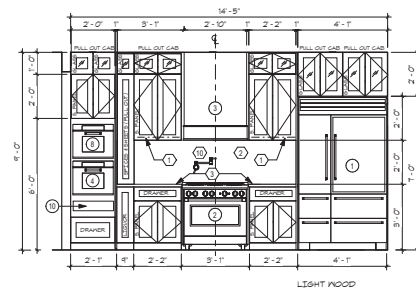
15 ELEVATION AT KITCHEN
38' x 11'-0"



16 ELEVATION AT KITCHEN
38' x 11'-0"



17 ELEVATION AT KITCHEN
38' x 11'-0"



18 ELEVATION AT KITCHEN
38' x 11'-0"

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COLLABORATIVE DESIGNER

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ISSUE: 6.7.2021

INTERIOR ELEVATIONS

PROJECT NO: 202007
DRAWN BY: JM

A-4.0

POWER & LIGHTING

GENERAL NOTES:

- REPLACE ALL EXISTING OUTLETS TO MEET CURRENT CODE
- COORDINATE ANY LIGHTS ON DIMMERS WITH OWNER

- 4" RECESSED CAN LIGHT
- RECESSED CAN AT SHOWER
MOISTURE RESISTANT
- WALL MOUNTED LIGHT
FIXTURE (INTERIOR)
- DIMMER
- 6"X24" SURFACE MOUNTED
LINEAR UTILITY LIGHT
- SMALL PENDANT LIGHT
- WALL MOUNTED WALL
SCIENCE (EXTERIOR)
- 3 WAY LIGHT SWITCH
- LARGE PENDANT LIGHT
FIXTURE TO BE SELECTED BY
OWNER
- AUBE 54" 3 BLADE CEILING
FAN WITH REMOTE
- UNDERCAB LIGHTS ON
DIMMER
- LIGHT PATH
- LIGHT SWITCH
- DOOR CHIME
- DOOR CHIME
- DUPLEX OUTLET
- 220V OUTLET
- GFI GROUND FAULT INTERRUPTED
- WEATHER PROOF
- RECESSED FLOOR OUTLET
VERIFY EXACT LOCATION
W/ OWNER
- HEATER / VENT

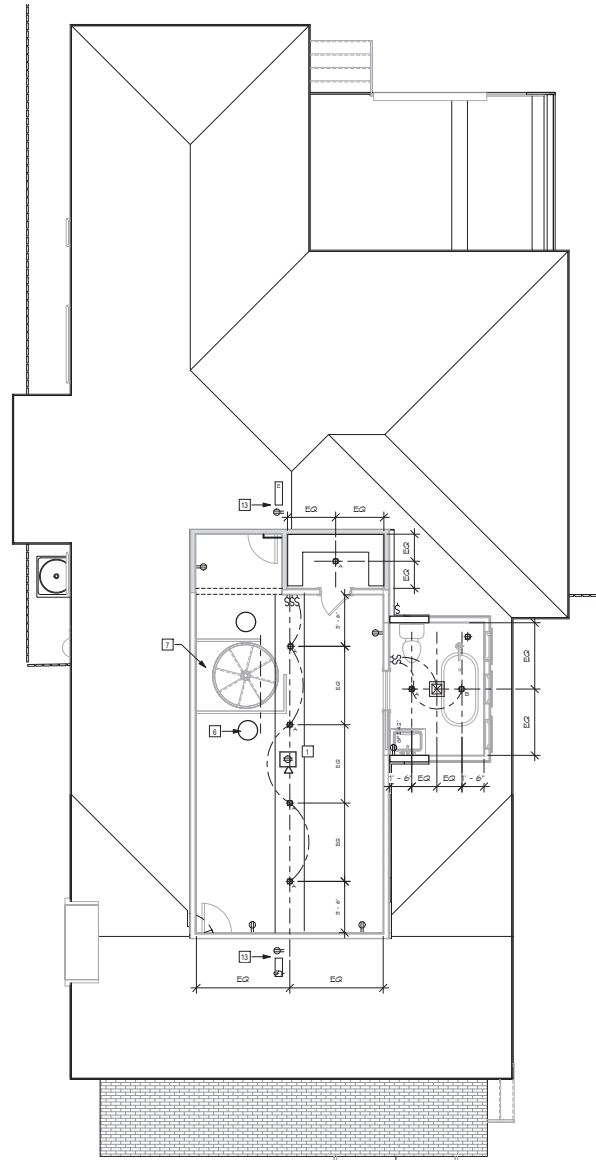
POWER & LIGHTING KEYED NOTES:

- OUTLET TO BE MOUNTED IN CEILING ABOVE. VERIFY EXACT LOCATION W/ OWNER PRIOR TO INSTALL.
- LED TAPE MOUNTED TO HEADER OF DOOR AT TRIM, SWITCHED.
- NEW LOCATION OF SWITCH
- POTENTIAL LOCATION OF FUTURE OWNER PROVIDED GENERATOR. VERIFY REQUIREMENTS WITH OWNER. PROVIDE PRICING FOR PRE WIRE/ PLUMB REQUIREMENTS.
- AT EXISTING BATHROOM, ALL LIGHT FIXTURE LOCATIONS TO REMAIN. COORDINATE W/ OWNER ON ANY REPLACEMENTS. ENSURE TO MOUNT EXISTING VENT TO EXTERIOR PER CODE.
- NEW SOLAR TUBES
- ENLARGE OPENINGS AT SPIRAL STAIR. COORDINATE EXACT SCOPE IN FIELD W/ ENGINEER/ FRAMING SUBCONTRACTOR.
- UPGRADE EXISTING ELECTRICAL PANEL
- LINEAR EXTERIOR LED TAPE LIGHT IN STORAGE DRAWERS
- STEP LIGHTS (ALL STEPS LIGHTS SHALL BE ON PHOTOCELL)
- FLOOR MOUNTED OUTLET. VERIFY EXACT LOCATION W/ OWNER PRIOR TO INSTALL.
- STUB OUT POWER FOR FUTURE LANDSCAPE LIGHTING
- OUTLET AND LIGHT IN ATTIC. VERIFY EXACT LOCATION W/ DESIGNER



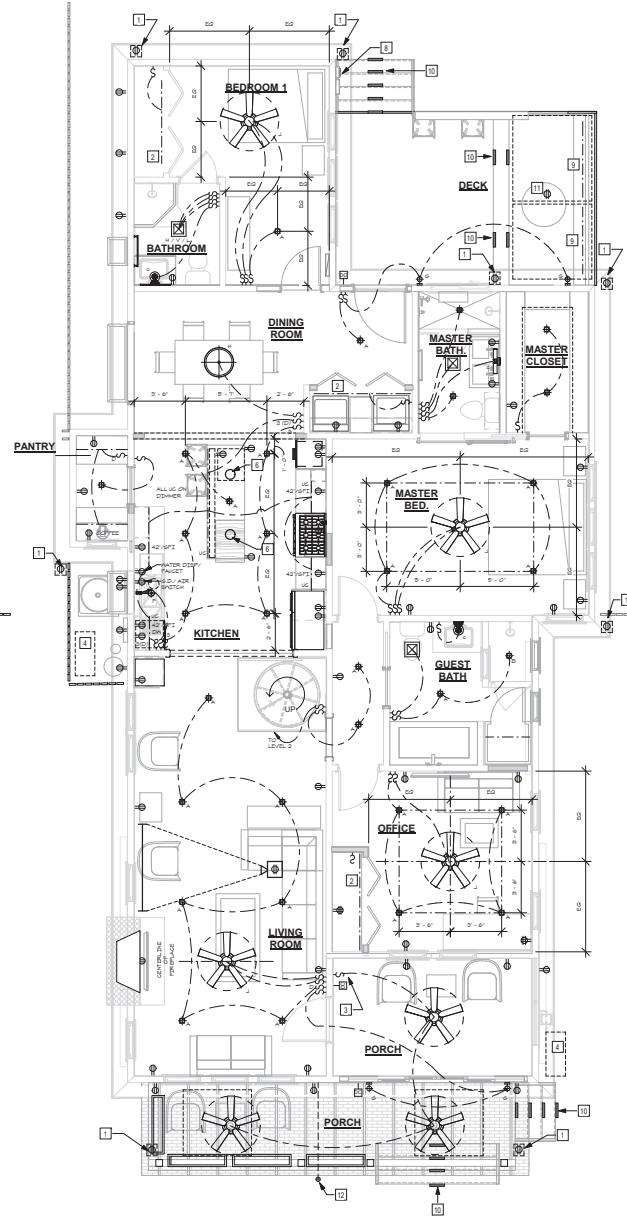
2 ATTIC POWER & LIGHTING

1/4" = 1'-0"



3 POWER & LIGHTING LEVEL 1

1/8" = 1'-0"



125 MAGNOLIA DR.
SAN ANTONIO TX 78212

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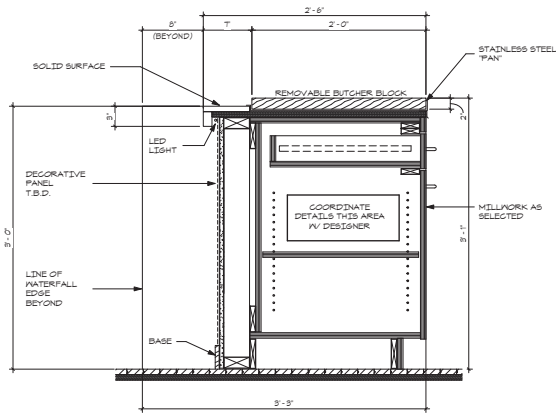
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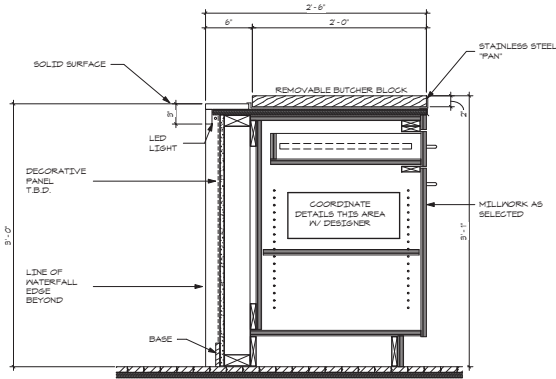
POWER & LIGHTING PLAN

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DRAWN BY: JM

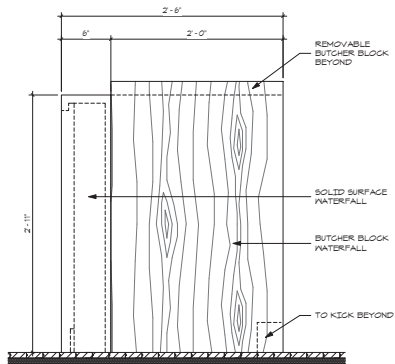
A-6.1



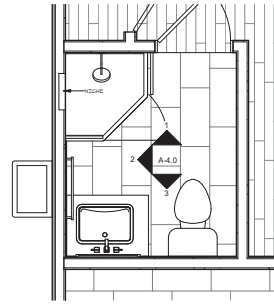
1 DETAIL @ BUTCHER BLOCK
1 1/2" = 1'-0"



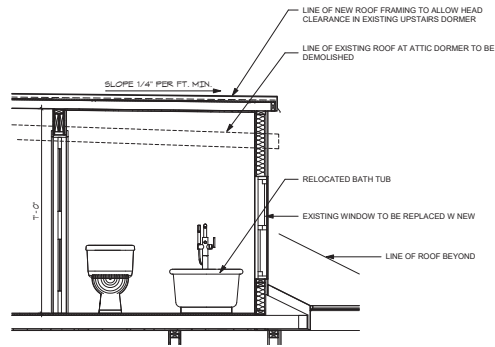
6 DETAIL @ BAR SEATING
1 1/2" = 1'-0"



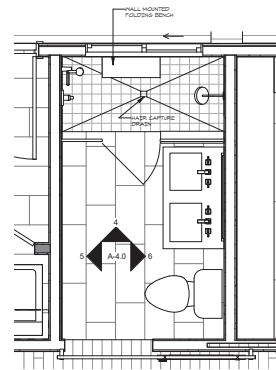
3 WATER FALL EDGE
1 1/2" = 1'-0"
OPTION WITH BUTCHER BLOCK



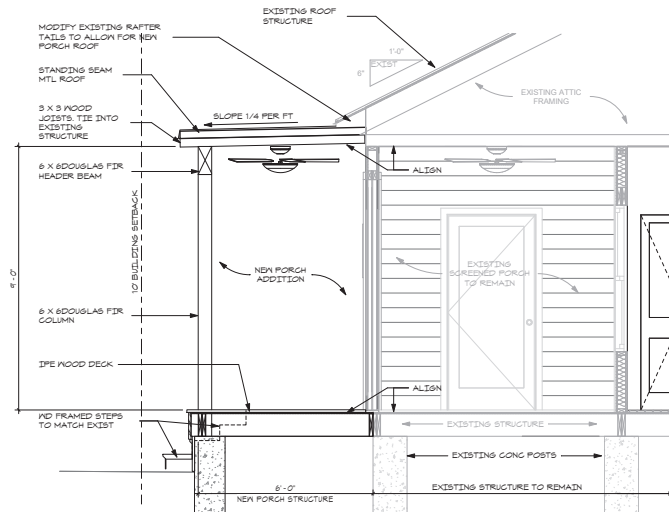
9 ENLARGED PLAN AT BATH
1/2" = 1'-0"



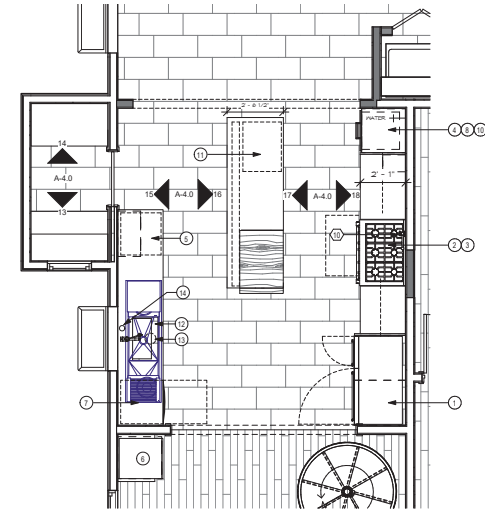
4 SECTION AT BATHROOM
1/2" = 1'-0"



8 ENLARGED PLAN AT MASTER BATH
1/2" = 1'-0"



5 SECTION AT NEW PATIO
1/2" = 1'-0"



7 ENLARGED PLAN AT KITCHEN
3/8" = 1'-0"

APPLIANCES LEGEND:

- | | |
|--|--|
| ① 48" SUB-ZERO REFRIGERATOR FREEZER - PRO4850 | ⑦ DISHWASHER BY MIELE - G 7966 SCVI |
| ② 36" BLUE STAR RANGE - PLATINUM SERIES | ⑧ MIELE SPEED OVEN - H 6700 |
| ③ BLUE STAR VENTHOOD - LINEAR SERIES | ⑨ KALAMAZOO HYBRID FIRE GRILL - K750HB |
| ④ MIELE STEAM OVEN - DGC 6785 XXL (PLUMBED PER SPEC) | ⑩ MIELE VACUUM SEAL - DGC 6785 |
| ⑤ DRY AGER - DRYAGER UX500 | ⑪ MIELE WARMING DRAWER - 6380 FB |
| ⑥ MIELE WINE REFRIGERATOR 24" KWT 6722 | ⑫ THE GALLEY SINK - WORKSTATION |
| | ⑬ GARBAGE DISPOSAL - TO BE SELECTED BY OWNER |

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DETAILS

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A-7.1



125 Magnolia Dr.

Left side elevation: New water Heater closet to be constructed.



Front elevation: New Covered Porch to be constructed.





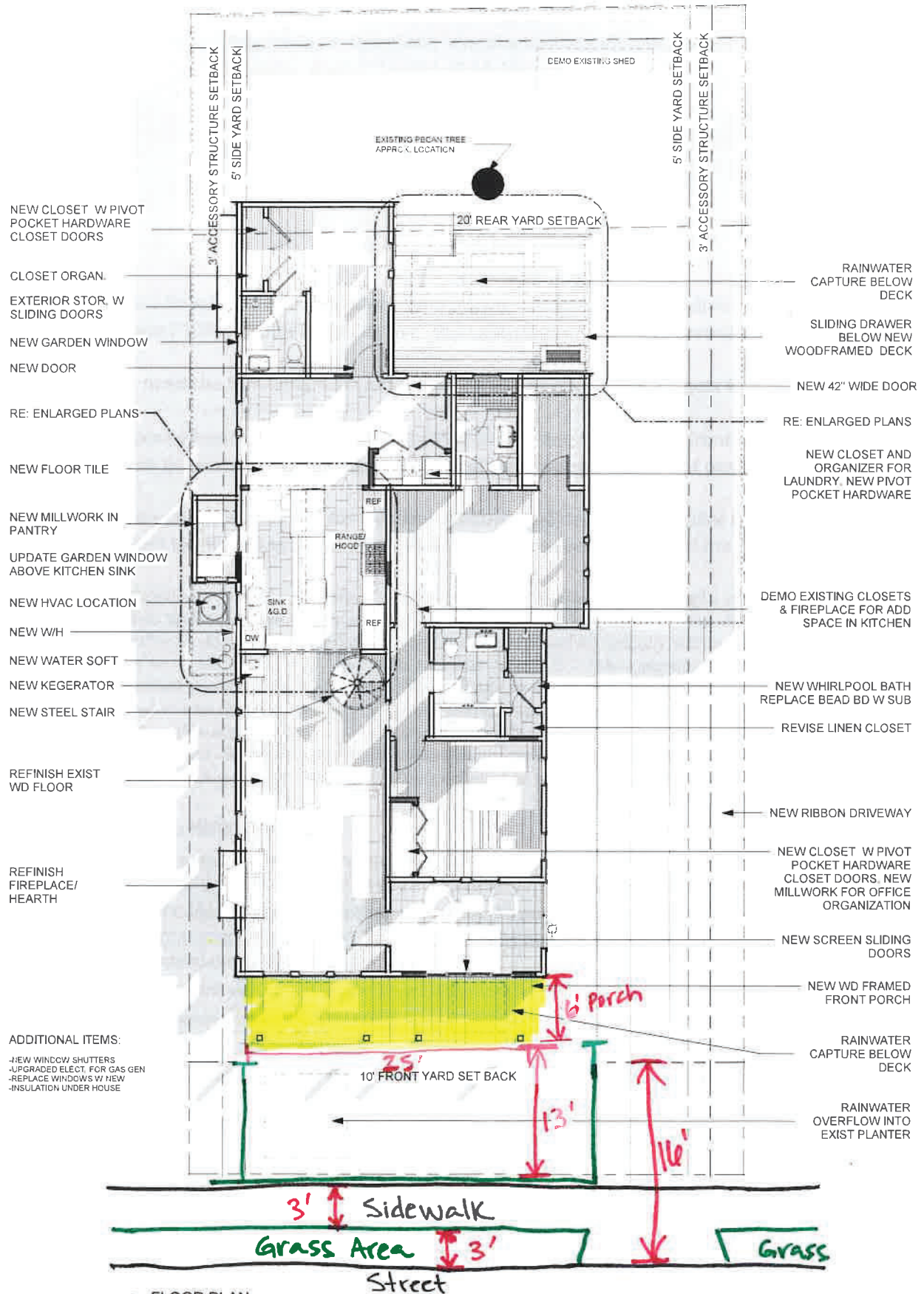
Right side back elevation: Removal of existing decking and construct new in same footprint.



4827 Whirlwind Drive, San Antonio, Texas 78259
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125 Magnolia Dr

Preliminary Plan



① FLOOR PLAN
1/8" = 1'-0"